



St Davids House
St Davids Drive
Dalgety Bay KY11 9NB
LP-2 DALGETY BAY
t 01383 826777
f 01383 826778
e customerservices@firstscottish.com
w www.firstscottish.com

STREFFORD TULIPS
LP 1
HAMILTON

Date: 20 December 2017
Your Ref: C&S01 16
Our Reference: I01259042

LEGAL REPORT - REGISTERED PROPERTY

PROPERTY:

ST MUNGO STREET, BISHOPBRIGGS
(Noted on Title Sheet as Subjects on the north side of ST. MUNGO STREET, BISHOPBRIGGS, GLASGOW)

TITLE NO:

GLA25428

TITLE SHEET RECORD UPDATED TO:

01/10/2014

CURRENT TITLE SHEET ENTRIES AFFECTING THE SUBJECTS IN THIS TITLE:

(To disclose: proprietors, charges and any relevant entries registered on or after the proprietors title)

Title To ST MUNGO ASSETS LIMITED 26/09/2014

Standard Security by ST MUNGO ASSETS LIMITED to THOMAS WALLACE and JANICE WALLACE
26/09/2014

APPLICATIONS IN THE COURSE OF REGISTRATION AGAINST THIS TITLE:

(Until registration is complete any application is subject to withdrawal, cancellation or amendment)

None

EXTANT ADVANCE NOTICES:

None

CORRECT TO:

19/12/2017

FIRST SCOTTISH SEARCHING SERVICES LIMITED
SEARCH IN THE REGISTER OF INHIBITIONS

I01259042

AGAINST

C & S VENTURES LTD

From 19 Dec 2012 to 19 Dec 2017

NO DEED

SEARCH IN THE REGISTER OF INHIBITIONS
AND FOUND AS ABOVE

Searches in The Register of Inhibitions are carried out in our enhanced computerised database, and although our liability is restricted to exact name and address matches, there may be occasions where other entries will be shown for your information. Source acknowledgement: Contains data from the Register of Inhibitions produced by Registers of Scotland. Crown Copyright material is reproduced with the permission of Registers of Scotland.

STREFFORD TULIPS
LP 1
HAMILTON

Date: 20 December 2017

Your Ref: C&S01 16

Our Reference: I01259042

INSOLVENCIES

REGISTER OF INSOLVENCIES (Sequestrations and Protected Trust Deeds)

A Search carried out in the Register held by The Accountant in Bankruptcy has disclosed the following result:

Please note that for the Party Name (s) requested a Search in the Register of Insolvencies cannot be undertaken. Please refer to our Disclaimer noted below.

SEARCHED IN THE ABOVE REGISTER AND FOUND AS ABOVE

From 1 April 2015 the Register of Insolvencies will disclose only details of live Bankruptcy cases or discharged cases that were awarded bankruptcy within the last 5 years, or details of live Protected Trust Deed cases including those discharged in the past year.

For searches in the Register of Insolvencies, our liability is restricted to exact name and address matches as shown on the instructions received, however there may be occasions where other entries will be shown for your information. Searches are not undertaken against incorporated bodies, Executors as individuals or addresses outwith Scotland.



St Davids House
St Davids Drive
Dalgety Bay KY11 9NB
DX 558300 DALGETY BAY
t 01383 826777
f 01383 826778
e customerservices@firstscottish.com
w www.firstscottish.com

STREFFORD TULIPS
DX HA58
HAMILTON

Date of Certificate: 7 February 2018
Certificate No: I01259042
Your Ref: C&S01 16

PROPERTY ENQUIRY CERTIFICATE

PROPERTY	
ST MUNGO STREET, BISHOPBRIGGS	
PLANNING	
Local Authority Area	East Dunbartonshire
Adopted Local Plan/Local Development Plan	East Dunbartonshire Local Development Plan
Zoning	Residential
Applications	See Schedule Over
Other Matters	None
BUILDING STANDARDS	
Applications	See Schedule Over
Notices	None
Other Matters	None
ENVIRONMENTAL HEALTH	See Schedule Over
HOUSING	None
CONTAMINATED LAND	None
CARRIAGEWAY AND ADJOINING FOOTWAY	
Status	Adopted
Road Proposals	None
WATER	See Schedule Over
DRAINAGE	See Schedule Over

SCHEDULE OF DETAILS

PLANNING MATTERS

Applications

Reference	Details (if any)
TP/ED/17/0717	Demolition of existing industrial and commercial premises and erection of 64 no. apartments in four separate 3-4 storey blocks with accommodation in the roofspace and associated parking, roads and landscaping at 6 St Mungo Street, Bishopbriggs, East Dunbartonshire, G64 1QT. Awaiting decision.
TP/ED/17/0157	Proposal of Application Notice - residential development including apartments for sale and portion for affordable housing at 12 St Mungo Street, Bishopbriggs, East Dunbartonshire, G64 1QT. Application approved 30 May 2017.

Other Matters

None

BUILDING STANDARDS MATTERS

Building Standards Applications

Reference	Details (if any)
ED/BS/17/1035/BSW	Demolition of walling and removal of fuel storage tanks at 6 St Mungo Street, Bishopbriggs, East Dunbartonshire, G64 1QT. Pending consideration

Notices

Reference	Date served	Details (if any)
None		

Other Matters

None

ENVIRONMENTAL HEALTH MATTERS

Notices

Reference	Date served	Details (if any)
None		

Other Matters

The property is situated within a Smoke Control Zone.

HOUSING MATTERS

Notices

Reference	Date served	Details (if any)
None		

Other Matters

None

CONTAMINATED LAND

Notices & Resolutions

Reference No.	Date served	Details (if any)
None		
Unless details of any entries appear above the answer to each of the questions listed in para 5.3.6 of the CML Handbook for Scotland is in the negative.		

CARRIAGEWAY AND ADJOINING FOOTWAY

Status	St Mungo Street carriageway and adjoining footway ex adverso the property are adopted.
Road Proposals	None



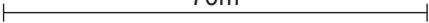
WATER STATUS	Scottish Water's records show there is an adopted public water main ex adverso the property.
DRAINAGE STATUS	Scottish Water's records show there is an adopted public sewer ex adverso the property.

**FIRST SCOTTISH
IMPORTANT INFORMATION**

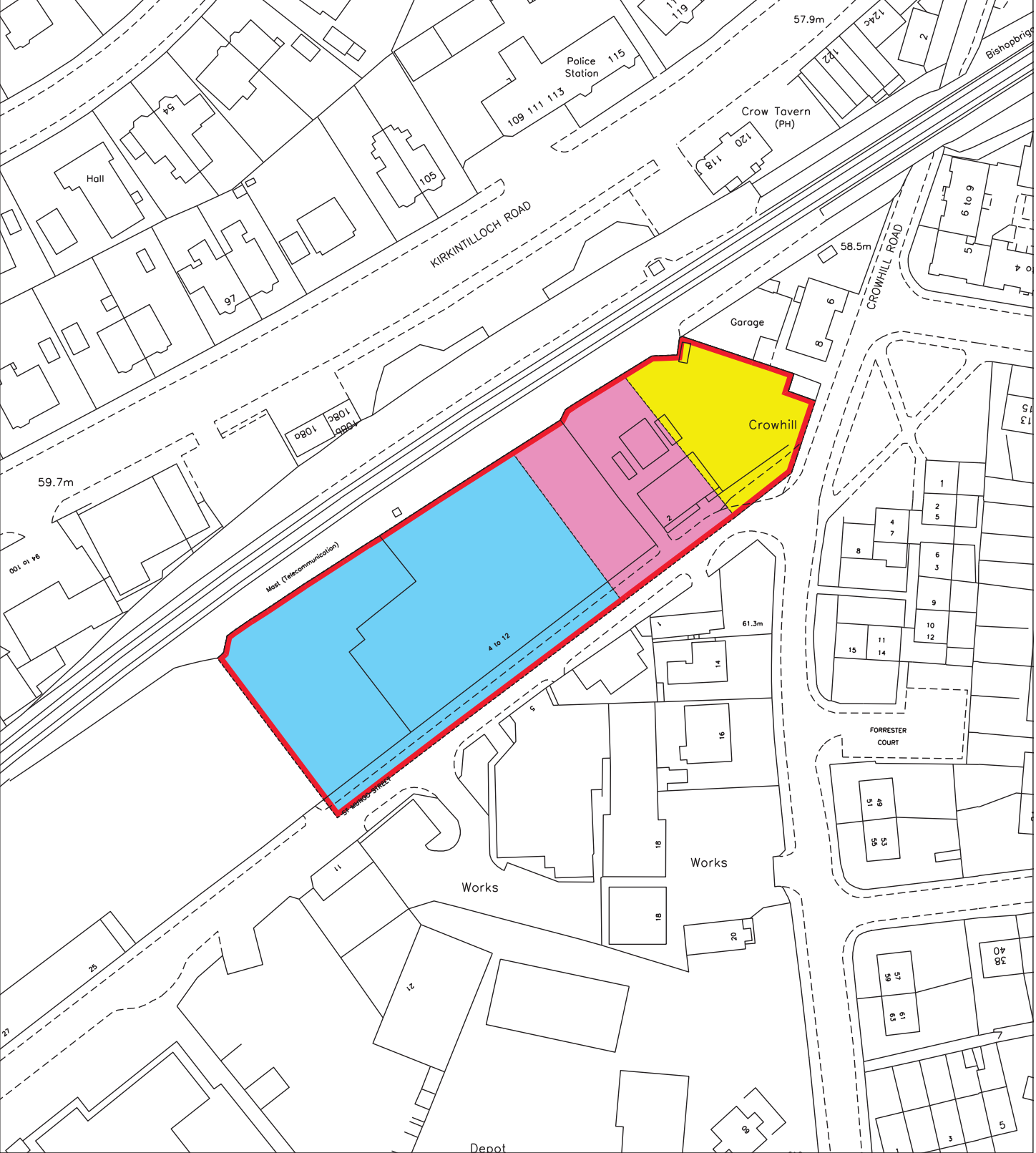
- Searches have been carried out by our Enquiry Team of all available Public Records in respect of all relevant matters covered by the undernoted legislation and designations insofar as applicable to the subject address referred to on the Property Enquiry Certificate, unless otherwise stated.
- The Planning and Building Standards application search covers the period for 5 years to the date 48 hours prior to the date of issue of this certificate for all Scottish Local Authorities with the exception of Aberdeen City, Aberdeenshire and Moray. Our search of Planning and Building Standards Applications for the Aberdeen City and Aberdeenshire Local Authority areas extends for 10 years to the date 48 hours prior to the date of issue of this certificate. Our search of Planning and Building Standards Applications for the Moray Local Authority area extends for 20 years to the date 48 hours prior to the date of issue of this certificate.
- The details of the current status of any applications disclosed on the certificate are included when the information is readily available.
- Road proposals are disclosed to within a 250m radius from the property address.
- This search is covered by Professional Indemnity Insurance. A summary of our cover can be provided on request

PUBLIC RECORDS UNDER THE FOLLOWING LEGISLATION HAVE BEEN SEARCHED–

- Town & Country Planning (Scotland) Act 1997
- Planning etc. (Scotland) Act 2006
- Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997
- Ancient Monuments and Archaeological Areas Act 1979
- Town & Country Planning (General Permitted Development) (Scotland) Order 1992
- Building (Scotland) Acts 1959/1970/2003
- Civic Government (Scotland) Act 1982
- Edinburgh District Council Order of Confirmation Act 1991
- City of Glasgow Council Order Confirmation Act 1988
- Housing (Scotland) Acts 1969/1987/2006
- Roads (Scotland) Act 1984
- Environmental Protection Act 1990
- Environment Act 1995
- Sites of Special Scientific Interest as designated under the Nature Conservation (Scotland) Act 2004
- Special Areas of Conservation as designated under the EC Habitats Directive (Council Directive 92/43/EEC)
- Special Protection Areas as designated under the EC Birds Directive (Council Directive 79/409/EEC)
- Ramsar Sites as designated under the Convention of Wetlands of International Importance
- National Scenic Areas as designated by the Country Side Commission for Scotland (now Scottish Natural Heritage)
- National Nature Reserves as designated under the National Parks and Access to the Countryside Act 1949 or the Wildlife and Countryside Act 1981.

 LAND REGISTER OF SCOTLAND	Officer's ID / Date	TITLE NUMBER
	2719 11/7/2011	GLA25428
	ORDNANCE SURVEY NATIONAL GRID REFERENCE	70m 
	NS6069NE NS6169NW NS6070SE NS6170SW	Survey Scale 1/1250

CROWN COPYRIGHT © - Produced from REGISTERS DIRECT on 20/12/2017 at 14:29 with the authority of Ordnance Survey pursuant to section 47 of the Copyright, Designs and Patents Act 1988. Unless that act provides a relevant exception to copyright, the copy must not be copied without the prior permission of the copyright owner. This copy has no evidential status. OS Licence No. 100041182.



REGISTERS OF SCOTLAND



Registers Direct - Land Register: View Title GLA25428

Search Summary

Date:	20/12/2017	Time:	14:29:34
Search No.:	2017-04767264	User Reference:	
Sasine Search Sheet:	None Available		

A. PROPERTY SECTION

Title Number:	GLA25428	Date of First Registration:	01/07/1987
Date Title Sheet updated to:	01/10/2014	Date Land Certificate updated to:	01/10/2014
Hectarage Code:	0	Interest:	PROPRIETOR
Map Reference:	NS6069K		

Description:

Subjects on the north side of ST. MUNGO STREET, BISHOPBRIGGS, GLASGOW G64 1QT edged red on the Title Plan.

Notes:

1. The minerals are excepted. The conditions under which the minerals are held are set out in the Feu Contracts in Entries 1, 2 and 3 of the Burdens Section.

This is a Plain Copy which reflects the position at the date the Title Sheet was last updated.

B. PROPRIETORSHIP SECTION

Title Number:		GLA25428		
Entry Number	Date of Registration	Proprietor	Consideration	Date of Entry
1	26/09/2014	ST MUNGO ASSETS LIMITED a Company incorporated under the Companies Acts, (Company Number SC347979), and having its Registered Office at 216 West George Street, Glasgow.	£325,000	24/09/2014

This is a Plain Copy which reflects the position at the date the Title Sheet was last updated.

C. SECURITIES SECTION

Title Number:		GLA25428
Entry Number	Specification	Date Of Registration
1	Standard Security by said ST MUNGO ASSETS LIMITED to THOMAS WALLACE and JANICE WALLACE, spouses, 14 South Glassford Street, Milngavie, Glasgow.	26/09/2014

This is a Plain Copy which reflects the position at the date the Title Sheet was last updated.

D. BURDENS SECTION

Title Number:		GLA25428	Number of Burdens:	4
Entry Number	Burden Preamble			
1	Feu Contract containing Feu Disposition by Commissioner for Trustees of William Smith Dixon ("the first party") to Alexander Turnbull ("the second party") and his assignees, recorded G.R.S. (Glasgow) 27 Feb. 1889 of the plot of ground tinted blue on the Title Plan, contains the following reservation which subsists notwithstanding consolidation of the dominium utile interest created by the said Feu Contract with the immediate superiority thereof by Minute of Consolidation recorded G.R.S. (Glasgow) 16 Jun. 1953, viz.			
2	Feu Contract containing Feu Disposition by Commissioner for Trustees of William Smith Dixon ("the first party") to Alexander Turnbull ("the second party") and his assignees and disponees, recorded G.R.S. (Glasgow) 23 Jun. 1893, of the plot of ground tinted pink on the Title Plan, contains the following reservation and burdens which subsist notwithstanding consolidation of the dominium utile interest created by the said Feu Contract with the immediate superiority thereof by Minute of Consolidation recorded G.R.S. (Glasgow) 16 Jun. 1953, viz.			
3	Feu contract containing Feu Disposition by Trustees of William Smith Dixon ("the first party") to Alexander Turnbull ("the second party") and his assignees and disponees, recorded G.R.S. (Glasgow) 1 Sep. 1899, of the plot of ground tinted yellow on the Title Plan, contains the following reservation and burdens, which subsist notwithstanding consolidation of the dominium utile interest created by the said Feu Contract with the immediate superiority thereof by Minute of Consolidation recorded G.R.S.(Glasgow) 16 Jun. 1953, viz.			
4	Minute of Agreement recorded G.R.S. (Glasgow) 25 Jun. 1923, between Alex. Turnbull & Company Limited ("the First Party") proprietor of the part tinted blue on the Title Plan and Scottish Wire Rope Company Limited ("the Second Party"), proprietor of subjects immediately adjoining said part tinted blue on the south-west, contains Agreement between said Parties in the following terms			

Entry Number	Burden Detail
---------------------	----------------------

- 1 Feu Contract containing Feu Disposition by Commissioner for Trustees of William Smith Dixon ("the first party") to Alexander Turnbull ("the second party") and his assignees, recorded G.R.S. (Glasgow) 27 Feb. 1889 of the plot of ground tinted blue on the Title Plan, contains the following reservation which subsists notwithstanding consolidation of the dominium utile interest created by the said Feu Contract with the immediate superiority thereof by Minute of Consolidation recorded G.R.S. (Glasgow) 16 Jun. 1953, viz.: Reserving to the said Trustees and their successors and their assignees and disponees the whole mines metals and minerals in and under the said plot of ground hereby feued but without power to them or their foresaids to work or carry away the same without the consent in writing of the second party or his foresaids

Entry Number **Burden Detail**

- 2 Feu Contract containing Feu Disposition by Commissioner for Trustees of William Smith Dixon ("the first party") to Alexander Turnbull ("the second party") and his assignees and disponees, recorded G.R.S. (Glasgow) 23 Jun. 1893, of the plot of ground tinted pink on the Title Plan, contains the following reservation and burdens which subsist notwithstanding consolidation of the dominium utile interest created by the said Feu Contract with the immediate superiority thereof by Minute of Consolidation recorded G.R.S. (Glasgow) 16 Jun. 1953, viz.: Reserving to the said Trustees and their successors and their assignees and disponees the whole mines metals and minerals in and under the said plot of ground hereby feued but without power to them or their foresaids to work or carry away the same without the consent in writing of the second party or his foresaids; declaring further that it shall not be in the power of the second party or his foresaids to erect or carry on upon the said plot of ground any work manufactory or business of any kind that maybe deemed by the said Trustees or their foresaids offensive or nauseous to them or their feuars disponees or tenants without prejudice always to the second party and his foresaids erecting and carrying on upon said ground an engineering or other similar work.

Entry Number **Burden Detail**

- 3 Feu contract containing Feu Disposition by Trustees of William Smith Dixon ("the first party") to Alexander Turnbull ("the second party") and his assignees and disponees, recorded G.R.S. (Glasgow) 1 Sep. 1899, of the plot of ground tinted yellow on the Title Plan, contains the following reservation and burdens, which subsist notwithstanding consolidation of the dominium utile interest created by the said Feu Contract with the immediate superiority thereof by Minute of Consolidation recorded G.R.S. (Glasgow) 16 Jun. 1953, viz.: Reserving to the first party as Trustees foresaid and their successors and their assignees and disponees the whole mines metals and minerals in and under the said plot of ground hereby feued, but without power to them or their foresaids to work or carry away the same without the consent on writing of the second party or his foresaids; And declaring that it shall not be in the power of the second party or his foresaids to erect or carry on upon the said plot of ground any work manufactory or business of any kind that may be deemed by the first party or their foresaids offensive or nauseous to them or their feuars disponees or tenants without prejudice always to the second party and his foresaids erecting and Carrying on upon said ground an engineering or other similar work.

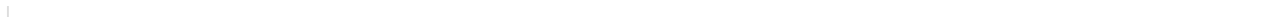
Burden Detail

**Entry
Number**

4 Minute of Agreement recorded G.R.S. (Glasgow) 25 Jun. 1923, between Alex. Turnbull & Company Limited ("the First Party") proprietor of the part tinted blue on the Title Plan and Scottish Wire Rope Company Limited ("the Second Party"), proprietor of subjects immediately adjoining said part tinted blue on the south-west, contains Agreement between said Parties in the following terms: WHEREAS the predecessors of the First Party erected a wall between the Parties' properties and the Second Party are desirous of making use of said wall for the support of the roof of certain buildings; AND WHEREAS the First Party have agreed to sanction such use on certain conditions therefore the Parties have agreed and do hereby agree as follows:- FIRST. The Second Party shall be entitled at their own expense to heighten the existing seven foot boundary wall between the parties' properties to an extent not exceeding seven feet with an additional Eight feet at the crane that is to say the height of the wall as altered to be Fourteen feet except at the crane where it is to be Twenty two feet in height. In the event of their heightening said wall they shall be bound to build at their own expense buttresses on both sides of the wall to be carried up the full height thereof. SECOND. The Second Party shall be entitled to use the said wall as heightened at their own risk for the support of the roof of buildings which they are erecting on their property. THIRD. The cost of heightening the wall, together with the erection of the buttresses, and of all future repairs and maintenance of the walls and buttresses as so heightened shall except as hereinafter mentioned be borne by the Second Party who shall be responsible for any damage which may result from the use to which they put the wall in question. FOURTH. Notwithstanding the arrangements in this Agreement the wall shall remain as at present the mutual property of the parties hereto. If at any time in the future the First Party desire to make use of their wall for the support of erections or of a roof on similar lines on their side of the wall they are to be entitled to do so free of cost subject to the cost of any additional strengthening, to the wall that may be necessary to support their erections, being borne by them and thereafter the expenses of repairing and maintaining the wall shall be borne by the parties mutually as hitherto but the upkeep of the wall will only become mutual again when the First Party put up a similar roof or erections on their side of the wall. FIFTH. In the event of the First Party wishing to make use of the mutual wall for the support of a roof on their side, the Second Party will at their own expense, make such alterations to their own roof or gutter as may be necessary, or share jointly with the First Prty the expense of making a mutual valley gutter so as to allow the First Party's roof to be built and finished off in a satisfactory and workmanlike manner. The building of a ventilating window or opening in said wall shall give to the Second Party no right of light or air over the property of the First Party. SIXTH. The Second Party's erection and operations are to be subject to the approval of the First Party's Architect, Andrew Robertson, A.R.I.B.A., Glasgow. SEVENTH. The Parties hereto declare that the whole obligations and conditions hereby undertaken or agreed to by them respectively shall be binding upon their respective successors

This is a Plain Copy which reflects the position at the date the Title Sheet was last updated.

© Crown copyright 2014





The Coal
Authority

Resolving the **impacts** of mining

CON29M Non-Residential Mining Report

ST MUNGO STREET
BISHOPBRIGGS
EAST DUNBARTONSHIRE

Date of enquiry: 21 December 2017
Date enquiry received: 21 December 2017
Issue date: 21 December 2017

Our reference: 51001717759001
Your reference: i1259042



CON29M Non-Residential Mining Report

This report is based on, and limited to, the records held by the Coal Authority, at the time we answer the search.

Client name

FIRST SCOTTISH S S LTD

Enquiry address




ST MUNGO STREET, BISHOPBRIGGS, EAST
DUNBARTONSHIRE

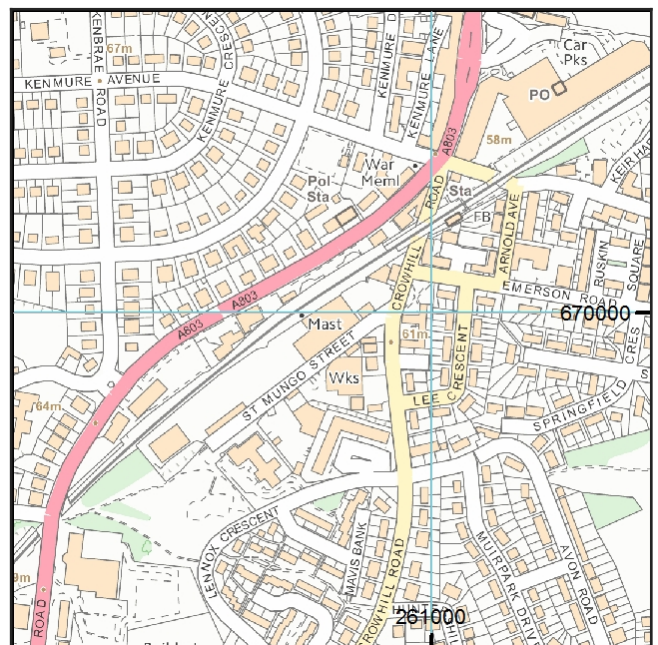
How to contact us

0345 762 6848 (UK)
+44 (0)1623 637 000 (International)

200 Lichfield Lane
Mansfield
Nottinghamshire
NG18 4RG

www.groundstability.com

 /company/the-coal-authority
 /thecoalauthority
 /coalauthority



Approximate position of property



Reproduced by permission of
Ordnance Survey on behalf of
HMSO. © Crown copyright and
database right 2017. All rights
reserved.

Ordnance Survey Licence number: 100020315

Summary

Has the search report highlighted evidence or potential of		
1	Past underground coal mining	Yes
2	Present underground coal mining	No
3	Future underground coal mining	Yes
4	Mine entries	No
5	Coal mining geology	No
6	Past opencast coal mining	No
7	Present opencast coal mining	No
8	Future opencast coal mining	No
9	Coal mining subsidence	No
10	Mine gas	No
11	Hazards related to coal mining	No
12	Withdrawal of support	No
13	Working facilities order	No
14	Payments to owners of former copyhold land	No

For detailed findings, please go to page 4.

Detailed findings

1. Past underground coal mining

The property is in a surface area that could be affected by underground mining in 2 seams of coal at 150m to 280m depth, and last worked in 1900.

Any movement in the ground due to coal mining activity should have stopped.

The property is in a surface area that could be affected by underground mining in 1 seam of ironstone at 280m depth, and last worked in 1869.

2. Present underground coal mining

The property is not within a surface area that could be affected by present underground mining.

3. Future underground coal mining

The property is not in an area where the Coal Authority has plans to grant a licence to remove coal using underground methods.

The property is not in an area where a licence has been granted to remove or otherwise work coal using underground methods.

The property is not in an area likely to be affected from any planned future underground coal mining.

However, reserves of coal exist in the local area which could be worked at some time in the future.

No notices have been given, under section 46 of the Coal Mining Subsidence Act 1991, stating that the land is at risk of subsidence.

4. Mine entries

There are no known coal mine entries within, or within 20 metres of, the boundary of the property.

5. Coal mining geology

The Coal Authority is not aware of any damage due to geological faults or other lines of weakness that have been affected by coal mining.

6. Past opencast coal mining

The property is not within the boundary of an opencast site from which coal has been removed by opencast methods.

7. Present opencast coal mining

The property does not lie within 200 metres of the boundary of an opencast site from which coal is being removed by opencast methods.

8. Future opencast coal mining

There are no licence requests outstanding to remove coal by opencast methods within 800 metres of the boundary.

The property is not within 800 metres of the boundary of an opencast site for which a licence to remove coal by opencast methods has been granted.

9. Coal mining subsidence

The Coal Authority has not received a damage notice or claim for the subject property, or any property within 50 metres of the enquiry boundary, since 31st October 1994.

There is no current Stop Notice delaying the start of remedial works or repairs to the property.

The Coal Authority is not aware of any request having been made to carry out preventive works before coal is worked under section 33 of the Coal Mining Subsidence Act 1991.

10. Mine gas

The Coal Authority has no record of a mine gas emission requiring action.

11. Hazards related to coal mining

The property has not been subject to remedial works, by or on behalf of the Authority, under its Emergency Surface Hazard Call Out procedures.

12. Withdrawal of support

The property is not in an area where a notice to withdraw support has been given.

The property is not in an area where a notice has been given under section 41 of the Coal Industry Act 1994, cancelling the entitlement to withdraw support.

13. Working facilities order

The property is not in an area where an order has been made, under the provisions of the Mines (Working Facilities and Support) Acts 1923 and 1966 or any statutory modification or amendment thereof.

14. Payments to owners of former copyhold land

The property is not in an area where a relevant notice has been published under the Coal Industry Act 1975/Coal Industry Act 1994.

Additional remarks

Information provided by the Coal Authority in this report is compiled in response to the Law Society's Con29M Coal Mining and Brine Subsidence Claim enquiries. The said enquiries are protected by copyright owned by the Law Society of 113 Chancery Lane, London WC2A 1PL. Please note that Brine Subsidence Claim enquiries are only relevant for England and Wales. This report is prepared in accordance with the Law Society's Guidance Notes 2006, the User Guide 2006 and the Coal Authority's Terms and Conditions applicable at the time the report was produced.

Disclaimer

The Coal Authority owns the copyright in this report and the information used to produce this report is protected by our database rights. All rights are reserved and unauthorised use is prohibited. If we provide a report for you, this does not mean that copyright and any other rights will pass to you. However, you can use the report for your own purposes.

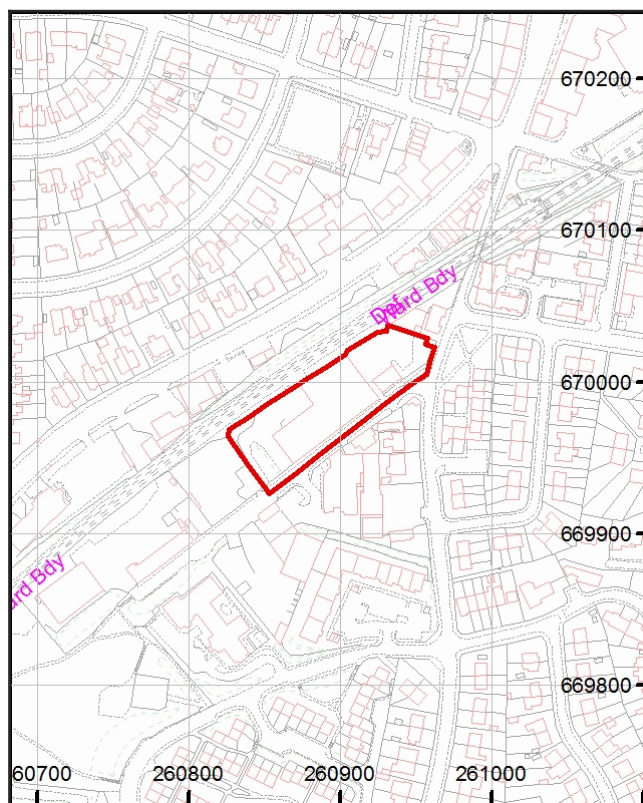
Alternative formats

If you would like this report in an alternative format, please contact our communications team.

Enquiry boundary

Key

Approximate position of enquiry boundary shown




How to contact us


0345 762 6848 (UK)
+44 (0)1623 637 000 (International)

200 Lichfield Lane
Mansfield
Nottinghamshire
NG18 4RG

www.groundstability.com

 /company/the-coal-authority

 /thecoalauthority

 /coalauthority



Reproduced by permission of Ordnance Survey on behalf of HMSO. © Crown copyright and database right 2017. All rights reserved.

Ordnance Survey Licence number: 100020315